

±14,000 SF STORAGE LOT FOR LEASE

1000 NW 52nd STREET

1000 NW 52nd Street

FORT LAUDERDALE, FLORIDA 33309



PROPERTY HIGHLIGHTS:

- **±14,000 SF corner parcel**
- **Property surrounded by a wall, with gates on north and east sides with access to street**
- **Current use is outside storage**
- **Zoned: B-3, City of Fort Lauderdale**
- **Current tenant is month-to-month**
- **Convenient location, minutes to I-95**

CONTACT:

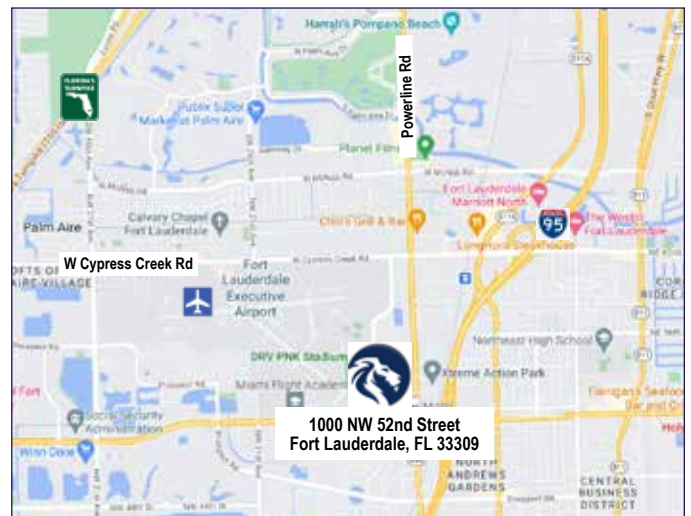
Franklin B. Morrison, Principal

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Lease Rate:

\$7,000 per month
Industrial Gross



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Sec. 47-19.9. - Outdoor uses.

- A. All uses, including sale, display, preparation and storage, shall be conducted within a completely enclosed building, except as follows:
1. *Garden center.* Outdoor retail sales of plant materials not grown on the site, home garden supplies and related garden merchandise, may be permitted as an accessory use only to a garden center.
 2. *Outdoor storage of goods and materials.* Outdoor storage of goods and materials including but not limited to machinery, supplies, inventory products, equipment and the like when permitted as an accessory use shall be subject to the following conditions:
 - a. Outdoor storage of goods and materials must be completely screened from abutting residential property and all public rights-of-way by a wall constructed in accordance with the requirements of [Section 47-19.5](#), Fences, Walls and Hedges. Such wall shall be a minimum of six and one-half (6½) feet in height and a maximum of ten (10) feet in height.
 - b. Outdoor storage of goods and materials must be completely screened from abutting nonresidential property by a wall in accordance with the requirements of [Section 47-19.5](#), Fences, Walls and Hedges. Such wall shall be a minimum of six and one-half (6½) feet in height and a maximum of ten (10) feet in height.
 - c. No machines, supplies, inventory products, equipment or materials other than landscaping exceeding the height of the wall shall be allowed in such permitted outdoor storage area.
 - d. All outdoor storage areas shall be required to meet the paving and drainage requirements for parking lots as provided in [Section 47-20](#), Parking and Loading.
 - e. Such walls in outdoor storage areas in an Industrial (I) district may be permitted to a maximum height of fifteen (15) feet, except where such wall is abutting residential property.
 - f. *Surface.* All outdoor storage areas shall have an adequately drained asphaltic concrete surface.
 3. *Outdoor display of vehicles or watercraft for sale or rental.*
 - a. Outdoor display of vehicles or watercraft for sale or rental shall be used exclusively for the display of new or used motor vehicles or watercraft for the purpose of sale or rental, but shall not be used for service of vehicles or parking of vehicles used by customers, visitors, and employees of such use.
 - b. All outdoor display areas shall be required to meet the paving and drainage requirements for parking lots as provided in [Section 47-20](#), Parking and Loading Requirements.
 - c. Outdoor display areas shall be considered a vehicular use area for purposes of [Section 47-21](#), Landscaping and Tree Preservation, however no outdoor storage area shall be permitted in a required yard.
 - d. *Surface.* All outdoor storage areas shall have an adequately drained asphaltic concrete surface.
 4. *Outdoor storage of vehicles or watercraft for sale, rental, service or repair.*
 - a. Outdoor storage of vehicles or watercraft for sale, rental, service or repair, is permitted as an accessory use to an automotive or watercraft sales or rental use and shall be used exclusively for the storage of new or used vehicles or watercraft, for the purpose of sale, service, rental but not for parking of vehicles used by the customers, visitors, and employees of the principal use.
 - b. All outdoor storage areas shall be required to meet the paving and drainage requirements for parking lots as provided in [Section 47-20](#), Parking and Loading Requirements.
 - c. Outdoor storage areas shall be considered a vehicular use area for purposes of [Section 47-21](#), Landscaping and Tree Preservation, however no outdoor storage area shall be permitted in a required yard.
 - d. *Surface.* All outdoor storage areas shall have an adequately drained asphaltic concrete surface.
 5. *Outdoor dining.*
 - a. *Outdoor dining areas.* Outdoor seating areas used for outdoor dining as an accessory use to a restaurant where permitted by the zoning district.
 - b. *Sidewalk café.* Outdoor seating areas used for sidewalk cafés may be permitted within the public right-of-way, as an accessory use to restaurants where permitted by the zoning district, subject to the requirements of Chapter 25, Article VII, of Volume I of the Code. Awnings located over a sidewalk café may be permitted in accordance with Section 25-22 of Volume I of the Code.
 6. *Drive-thru business.* Drive-thru businesses are permitted as an outdoor use as defined in [Section 47-35](#), Definitions.
 7. *Automotive service station.* Automotive service station refueling is permitted as an outdoor use as an accessory to an Automotive Service Station as provided in [Section 47-18.5](#).
 8. *Heliports and helistops and airports.* Heliports, helistops and airports are permitted as outdoor uses, as provided by [Section 47-18.14](#).
 9. *Holiday-related merchandise, outdoor sales.* See [Section 47-18.15](#).

(Ord. No. C-97-19, § 1(47-19.9), 6-18-97)

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